

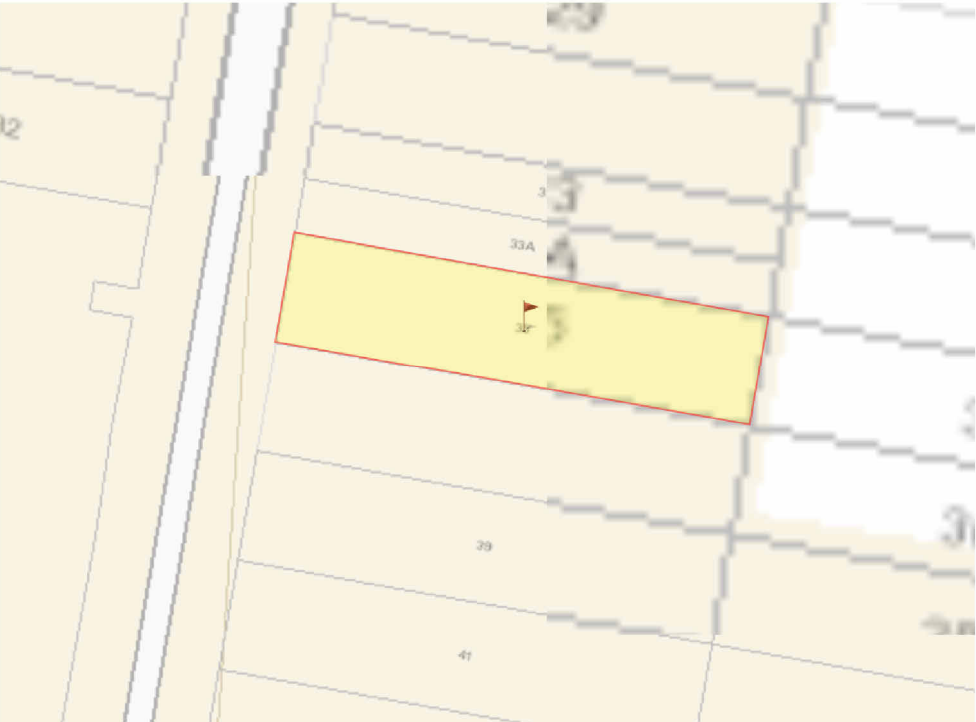
35 Hydrae St, Revesby

Hydrae St

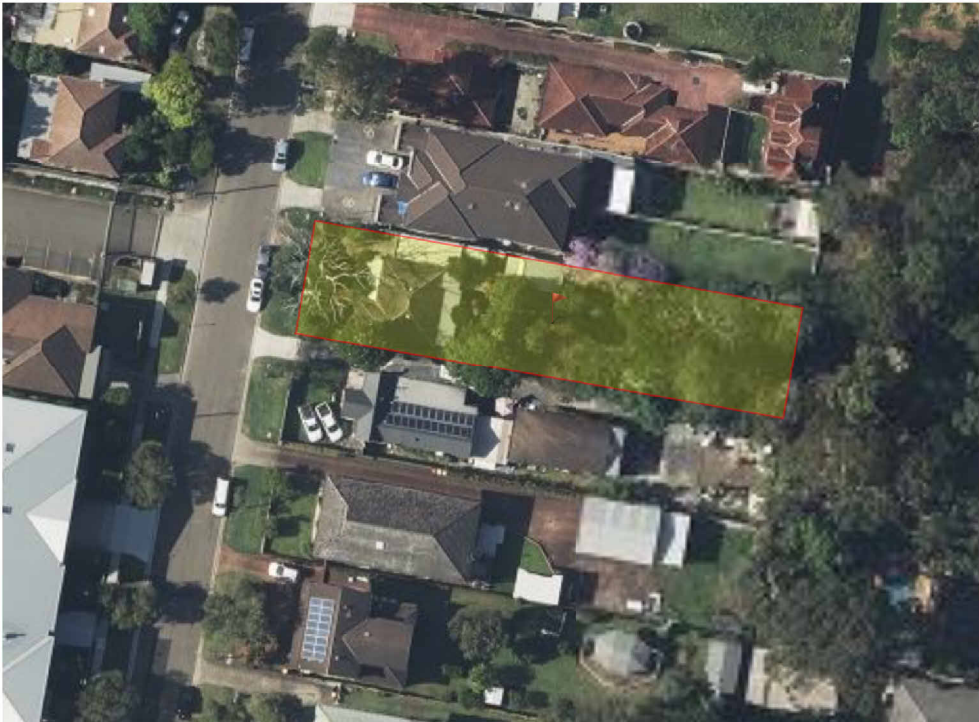
Project no. 25-016

Issued for DA

AERIAL VIEW



LOCATION MAP



SHEET SCHEDULE

0.0	Cover Page
0.1	Title Page
0.2	Specification Page
0.3	Basix Comments
01.0	Site Plan
01.1	Site Analysis
01.2	Demolition Plan
01.4	Subdivision Plan
01.5	Basement
02.0	Ground Floor Plan
02.1	Ground Floor Plan - 2
02.2	First Floor Plan
03.0	North & South Elevation
03.1	East & West Elevation
03.2	Sections
03.3	Section 2
04.0	Shadow Diagrams - June
04.1	Shadow Diagrams - June
04.2	Shadow Diagrams - June
05.0	Concept Landscape Plan
06.0	Schedules
NN	Neighbour Notification
SD	Sediment Control Plan



STANDARD SPECIFICATION

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

1.0 GENERAL

- 1.1
- ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT ANY WORK.
- 1.2
- ALL MATERIALS SHALL COMPLY WITH RELEVENT CURRENT AUSTRLIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.3
- ALL WORKMANSHIP SHALL COMPLY WITH RELEVENT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- 1.4
- ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.5
- THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT."
- 1.6
- DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- 1.7
- ENSURE THAT BACKGROUNDS ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE BACKGROUNDS IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE BACKGROUNDS ON WHICH FINISHES ARE APPLIED.
- 1.8
- SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS.
- 1.9
- PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS.

2.0 EARTHWORKS

- 2.1
- UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR THE BUILDER. PROVIDE SUITABLE CLEAN FILLING SAND AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- 2.2
- COMPACT SAND FILLING AND SANDY SUB GRADES UNDER FOOTINGS AND SLAB TO OBTAIN MIN. SEVEN (7) BLOWS PER 300mm ON A STANDARDS PERTH SAND PENEFROMETER TEST (AS PER AS 1289 F3.3)
- 2.3
- DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGEL OF 45 DEGREES DOWN FROM BOTTOM EDGE OF FOOTING.
- 2.4
- ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT.

3.0 CONCRETE

- 3.1
- CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO A STRUTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS
- 3.2
- ALL CONCRETE TO CONFORM TO THE REQUIREMENTS OF AS 3600 CONCRETE STRENGTH GRADE: N20, AGGREGATE 20mm, SLUMP 80mm.
- 3.3
- SLAB IS TO BE CURED FOR 7 DAYS MIN. & SLAB REINFORCEMENT PLACED ON APPROVED CHAIRS TO IMPROVE CRACK CONTROL.
- 3.4
- THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870.
- 3.5
- PROVIDE A PROPRIETARY VAPOR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN. 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.
- 3.6
- TERMITE PROTECTION:
PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS. BUILDER SHALL PROVIDE "DURSBAN" (HAND SPRAYED ORGANO-PHOSPHATE) OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH REELEVANT AUSTRALIAN STANDARD CODES.

4.0 BRICKWORK

- 4.1
- BRICK WORK SHALL COMPLY WITH :
AS 3700 MASONRY CODE
AS A123 MASONRY CODE
MORTAR FOR MASONRY CONSTRUCTION
- 4.2
- BRICK GAUGE 7 STANDARD COURSES = 600mm.
- 4.3
- ALL BRICKS SHOULD HAVE MIN. COMPRESSIVE STRENGTH OF 20MPa AND AS FOLLOWS:
EXTERNAL FACE WORK: 230x110x76mm
EXTERNAL RENDER: 305x162x90mm MAXIBRICK OR VERTICORE
WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS
WINDOW HEADS: SOLID FACEBRICK COURSE
INTERNAL WALLS: 305x162x90mm MAXIBRICK OR VERTICORE
WITH BED JOINT AND PERPENDS FILLED
305x76x90mm LONGREACH OR JUMBO FOR COURSE ADJUSTMENT
- 4.4
- MORTAR: 1:1:6 CEMENT:LIME:SAND
MORTAR (FACE BRICK) COLOR TO MATCH EXISTING AS SELECTED
- 4.5
- TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF THE OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm. VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE

FILLED AT COMPLETION WITH 'COMPRIBAND' CONTINUOUS FILLER STRIP.

- 4.6
- KEEP CAVITIES CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- 4.7
- FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHINGS AND CAVITY FILL. KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHINGS.
- 4.8
- PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK
- 4.9
- SETOUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC. TO BE TRUE, PLUMB, AND IN LINE WITH PERPENDS TRUE TO LINE. SETOUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MARGIN OF 12mm OR GREATER THAN 50mm.
- 4.10
- MOISTEN ALL EXTRUDED BRICKS BEFORE LAYING.
- 4.11
- PROVIDED 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- 4.12
- WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF LOCATED IN 2 COUSES BELOW SILL AND IN THE 2 COURSES ABOVE AN OPENING EXTENDING A MINIMUM OF 600mm BEYOND THE OPENING.
- 4.13
- BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS:
-WHEREVER SHOWN ON DRAWINGS.
-CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED.)
-OVER LINTELS TO EXPOSED OPENINGS:
FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE.
-OVER ROOF:
FULL WIDTH OF EXTERAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE.
-DOOR / WINDOW STILES:
FULL HIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.
-STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY:
VERTICAL FLASHINGS CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300mm WIDE. FOR HORIZONTAL STRUCTURES / SERVICES: CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS.
-AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAVE.

4.14 LINTELS

MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

5.0 CARPENTRY WORK

- 5.1
- ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.
- 5.2
- REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.
- 5.3
- SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

6.0 METALWORK

- 6.1
- ELECTRIC AND GAS METER BOXES AS SHOWN IN DRAWINGS
- 6.2
- WINDOW FRAMES SHALL BE RESIDENTIAL OR COMMERCIAL SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER. ALLOW FOR FLYSCREENS TO ALL WINDOWS. REFER TO ADDENDUM. ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS COMPLETE UNIT.
- 6.3
- CLOTHES HOIST: REFER TO ADDENDUM.

7.0 ROOFING

- 7.1
- SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES
- 7.2
- GUTTER, FASCIA, DOWN PIPES, FLASHINGS SHALL BE IN LONGEST POSSIBLE LENGTHS AND SHALL MATCH EXISTING.

- 7.3
- DOWN PIPES SHALL MATCH EXISTING.
- 7.4
- ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- 7.5
- ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHINGS, FLUMES THROUGH ROOF.
- 7.6
- FIX GUTTERS & FLASHINGS TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH
- 7.7
- SEAL BETWEEN OVERLAPPING FLASHINGS; FLASHINGS TURNED DOWN OVER BASE OR APRON FLASHINGS; FLASHINGS OVER METAL ROOF; FLASHINGS OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

8.0 JOINERY

- 8.1
- ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.
- 8.2
- EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.
- 8.3
- SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

9.0 CEILINGS

- 9.1
- CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPROCK.
- 9.2
- FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE
- 9.3
- PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES.
- 9.4
- PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS STATED IN ARCHITECTURAL DOCUMENTS.
- 10.1
- INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN, & FRIDGE RECESSES, ETC. SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.
- 10.2
- PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER.
- 10.3
- SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.
- 10.4
- PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK
- 10.5
- EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING)
- 10.6
- NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
- 10.7
- PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.

11.0 GLAZING

- 11.1
- CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS. ALL TO THE RELEVANT AUSTRALIAN STANDARDS.
- 11.2
- WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURES SPECIFICATIONS.

12.0 FLOORING FINISHES

- 12.1
- CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.2
- PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS ANGLE TRIMS, ETC. TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.3
- PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC. TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED & POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS & FINISHERS SCHEDULE.

13.0 SIGNAGE

- 13.1
- WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.
- 13.2
- "SUPERDRAFT" RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS.

14.0 PAVING

- 14.1
- GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT, THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD
- 14.2
- SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS.
- 14.3
- CUT, FILL AND COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
- 14.4
- PROVIDE BRICK EDGE-RETRAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK, GENERALLY. TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.
- 14.5
- PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.
- 14.6
- PAVING PATTERN: REFER TO ADDENDUM.
- 14.7
- BRICK PAVERS SHALL BE:
TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE
PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE

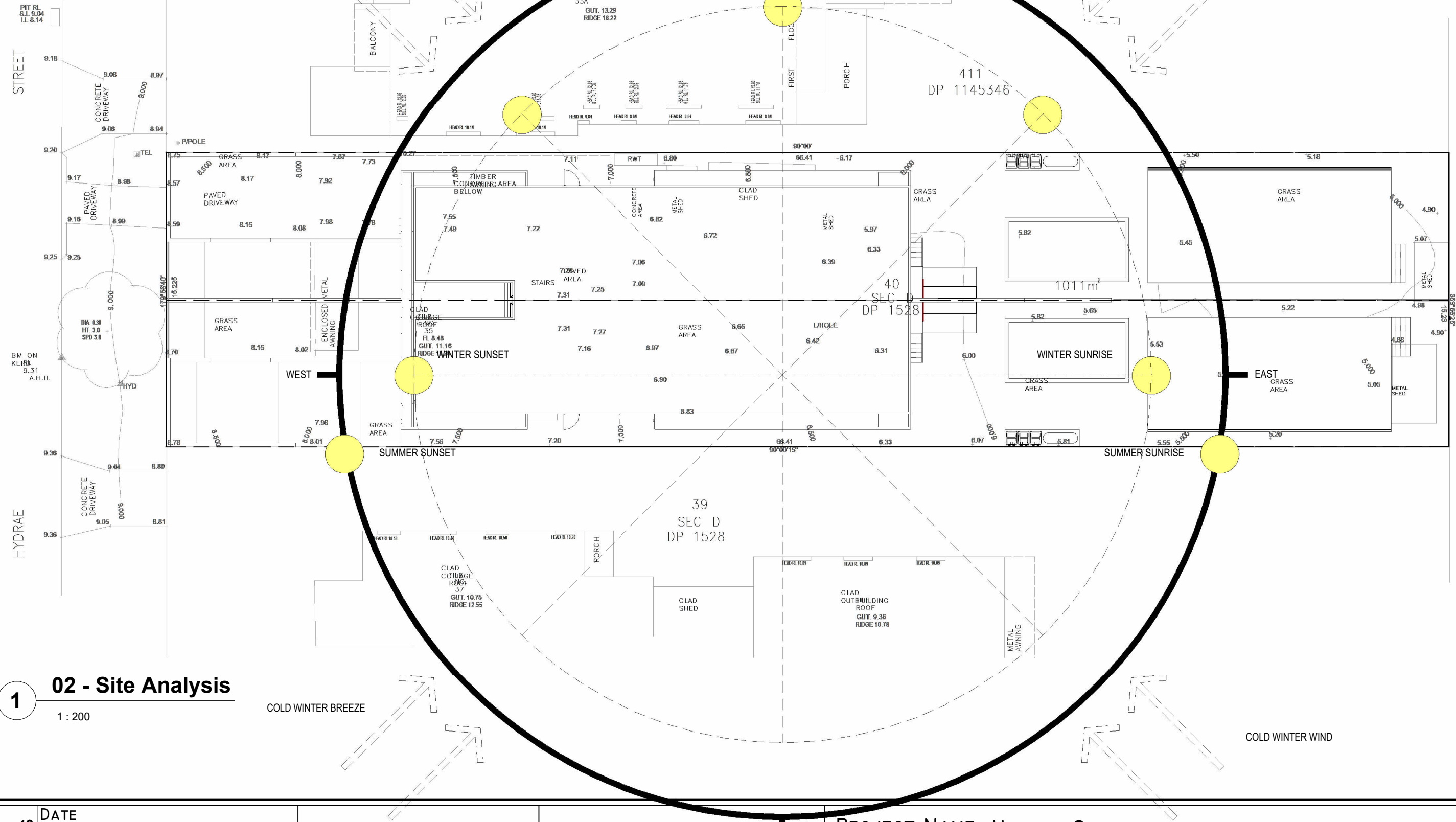
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AMENDMENTS	DATE		
			DESIGNED: SK
			DRAWN: AM
			PROJECT No: 25-016
			ISSUE DATE: JULY 2025
			ISSUED For: DA

DWNG No
01.0

NOTES:
BOUNDARY DIMENSIONS SHOWN HEREON
REFER TO PLAN DIMENSIONS ONLY AND
HAVE NOT BEEN DETERMINED BY
FIELD SURVEY.
SERVICES SHOWN HEREON HAVE BEEN
LOCATED BY FIELD SURVEY.
PRIOR TO ANY DEMOLITION, CONSTRUCTION
OR EXCAVATION A THOROUGH
SEARCH OF ALL SERVICE AUTHORITIES
SHOULD BE MADE TO DETERMINE THE
POSSIBLE LOCATION OF FURTHER UNDERGROUND
SERVICES.
CONTOURS SHOWN HEREON ARE INDICATIVE
ONLY AND ARE SUITABLE FOR MAPPING
AT A SCALE OF 1 : 100 OR SMALLER.
PREFERENCE SHOULD BE GIVEN TO SPOT
HEIGHTS AS SHOWN.



AMENDMENTS	DATE		DESIGNED: SK DRAWN: AM PROJECT No: 25-016 ISSUE DATE: JULY 2025 Site Analysis 1 : 100

epic design

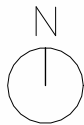
PO BOX 260 BEVERLY HILLS NSW 2209
T:0468339113
EMAIL:EPIC.DESIGN@OUTLOOK.COM

PROJECT NAME: HYDRAE ST

PROJECT ADDRESS: 35 HYDRAE ST, REVESBY

OWNER: -

DWNG No
01.1



HYDRAE STREET

EXISTING BOUNDARY 15.225M

PROPOSED BOUNDARY 66.408M

EXISTING BOUNDARY 66.41M

PROPOSED LOT 1
AREA 505.5

**PROPOSED SUBDIVISION OF
LOT 40 DP 1528
1011SQM**

PROPOSED LOT 2
AREA 505.5

EXISTING BOUNDARY 66.41M

PROPOSED BOUNDARY 66.408M

EXISTING BOUNDARY 15.23M

**LOT 411
DP 1145346**

**LOT 39
SEC D
DP 1528**

1 Subdivision Plan

1 : 200

AMENDMENTS

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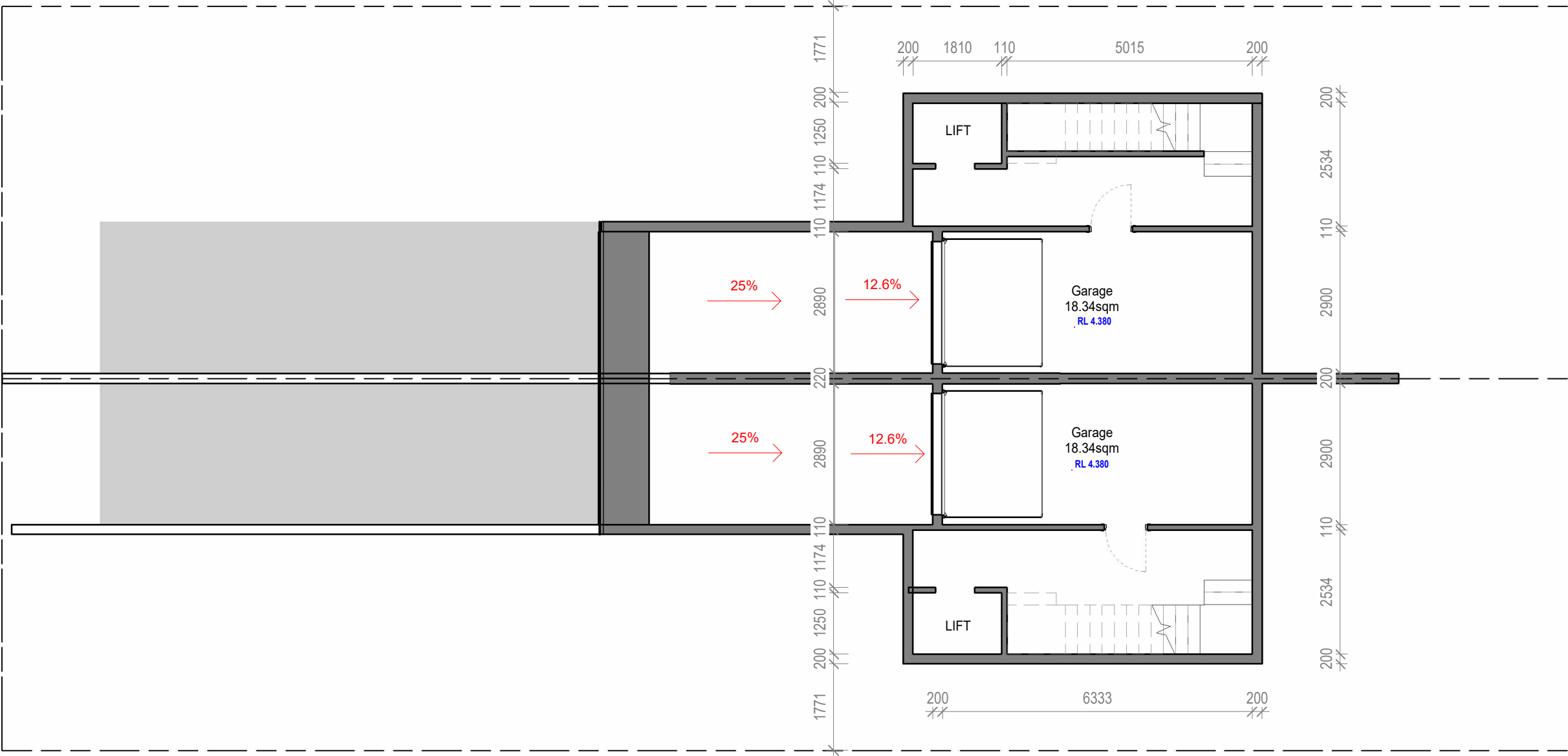
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01.4

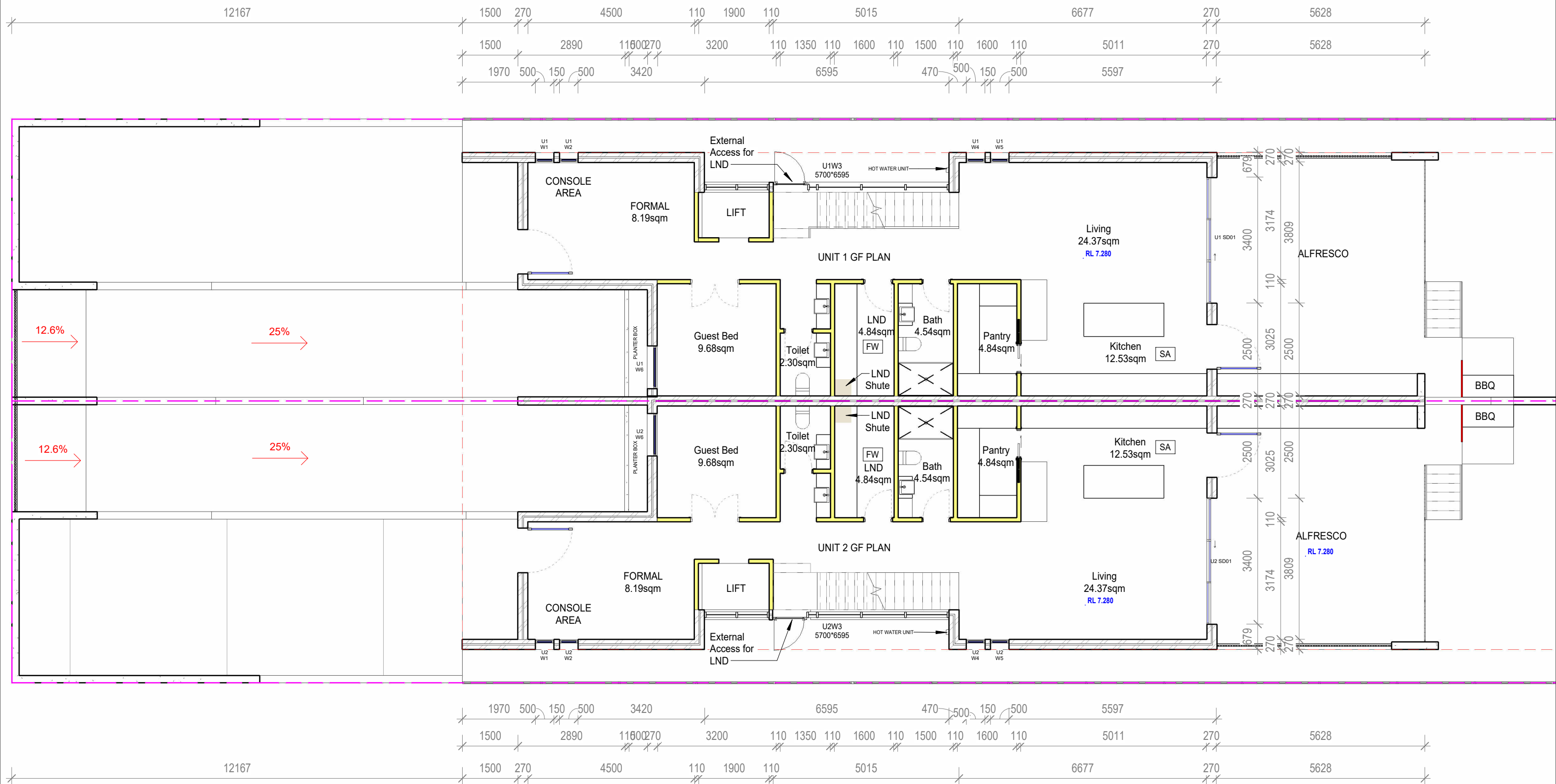


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BASEMENT

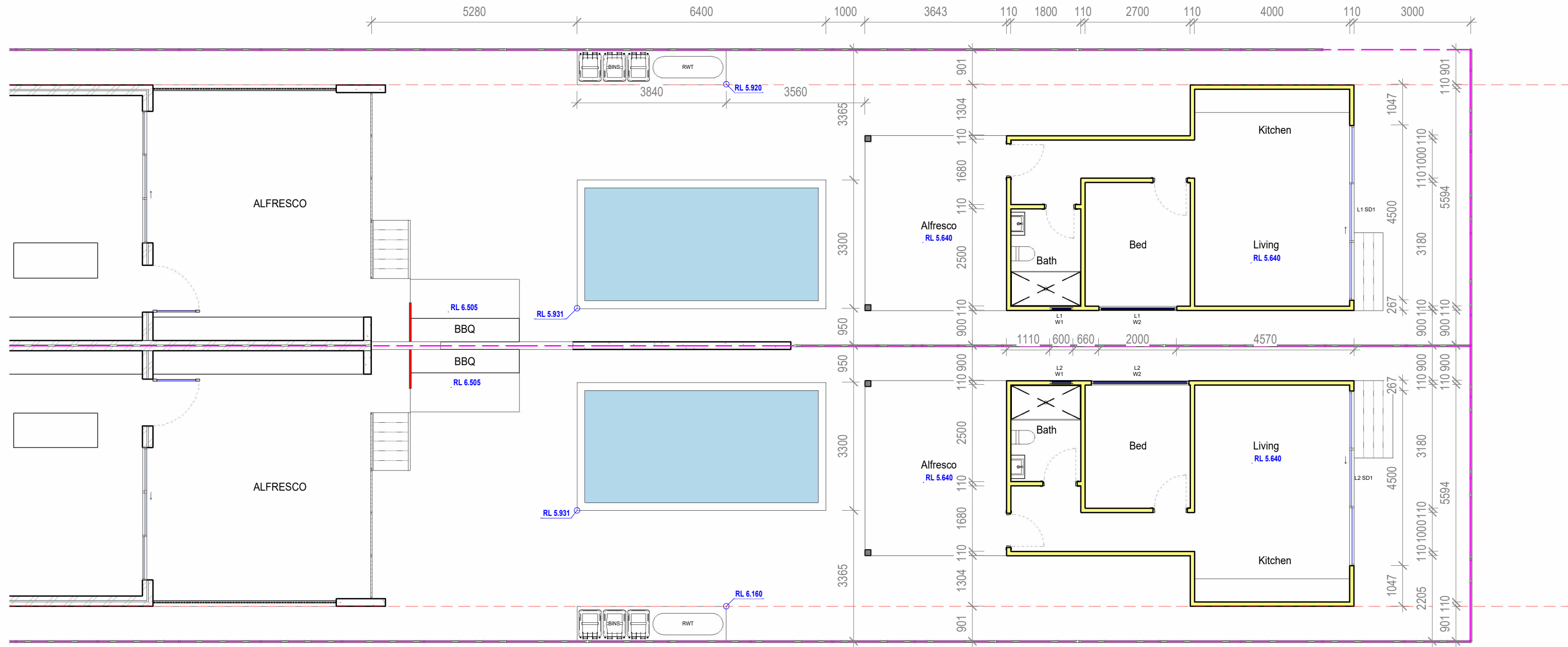
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			DRAWN: AM		PROJECT ADDRESS: 35 HYDRAE ST, REVESBY	DWNG No 01.5	
			PROJECT No: 25-016				
			ISSUE DATE: JULY 2025				
			ISSUED For: DA		OWNER: -		



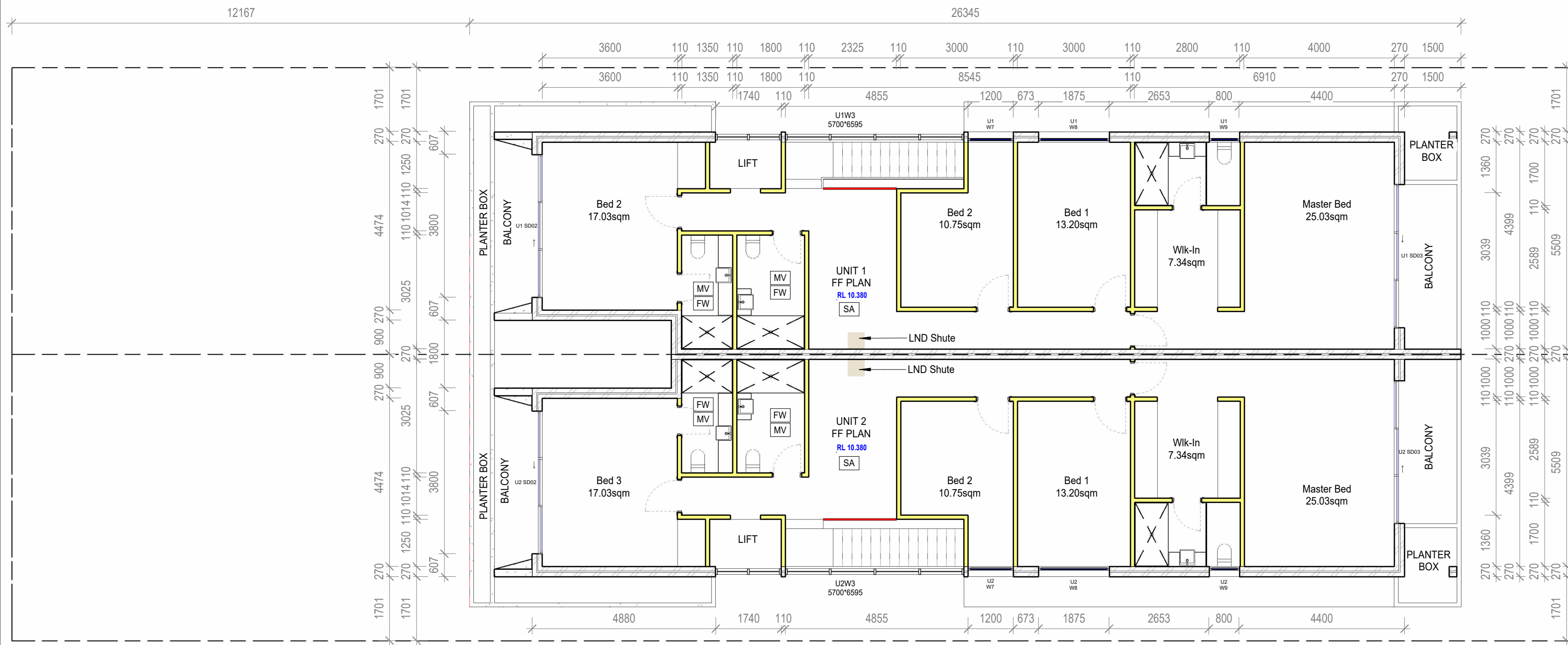
1 Ground Floor Plan
1 : 100

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			PROJECT NO: 25-016		OWNER: -	
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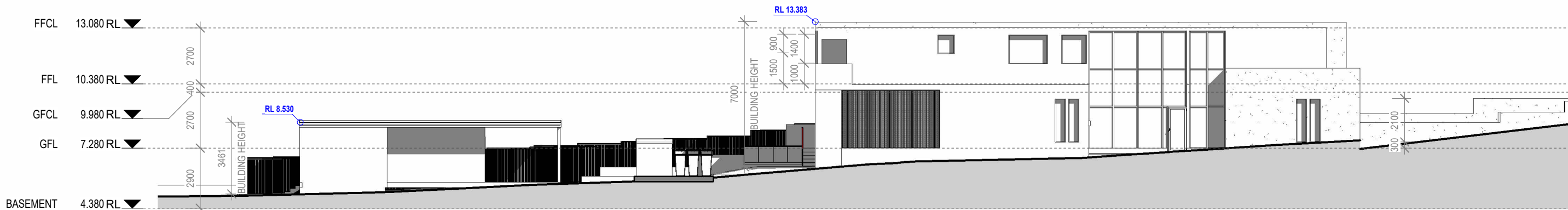
1 Ground Floor Plan - 2
1 : 100

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			ISSUE DATE: JULY 2025		DWNG No 02.1	
			ISSUED For: DA			

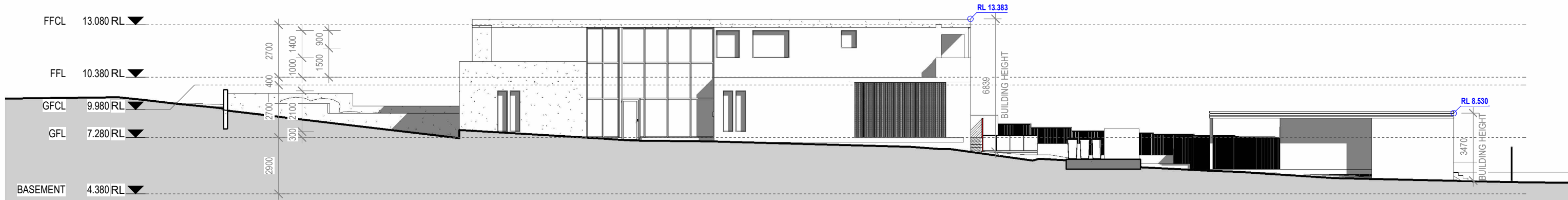


1 04 - First Floor Plan
1 : 100

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					PROJECT ADDRESS: 35 HYDRAE ST, REVESBY	
					OWNER: -	
					DWNG No	
					02.2	



1 North Elevation
1 : 200



2 South Elevation
1 : 200

AMENDMENTS

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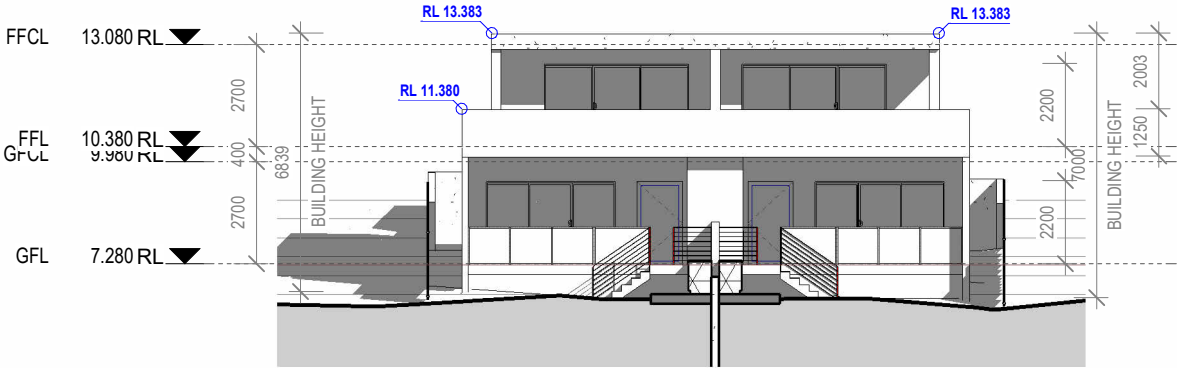
OWNER: -

DWNG No
03.0

1

East Elevation

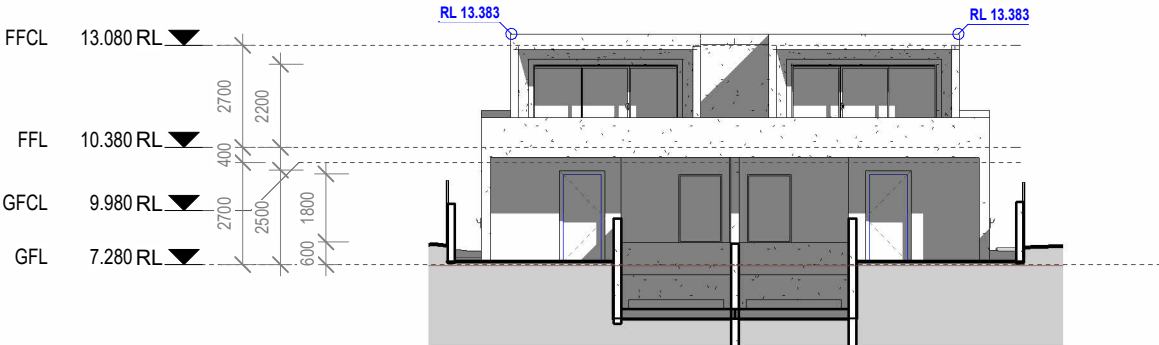
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2

West Elevation

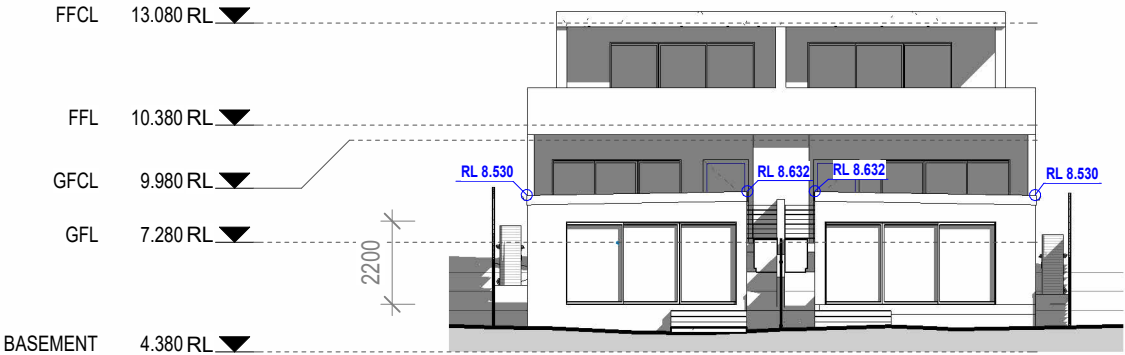
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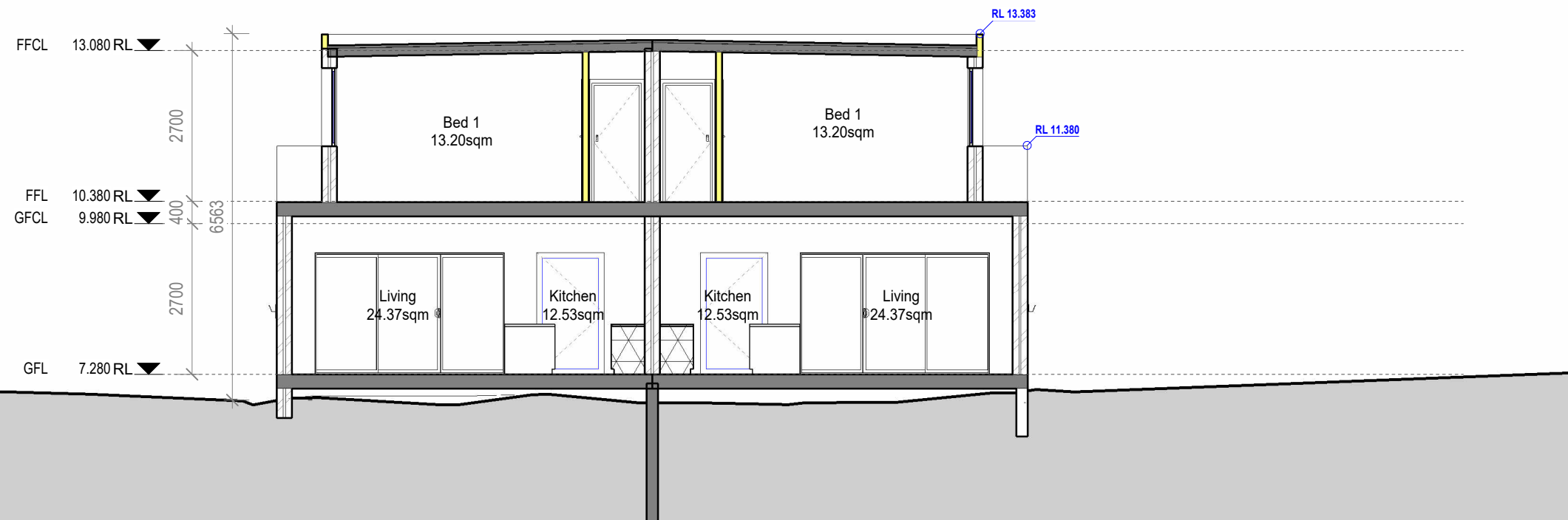
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East Elevation - SD

1 : 200

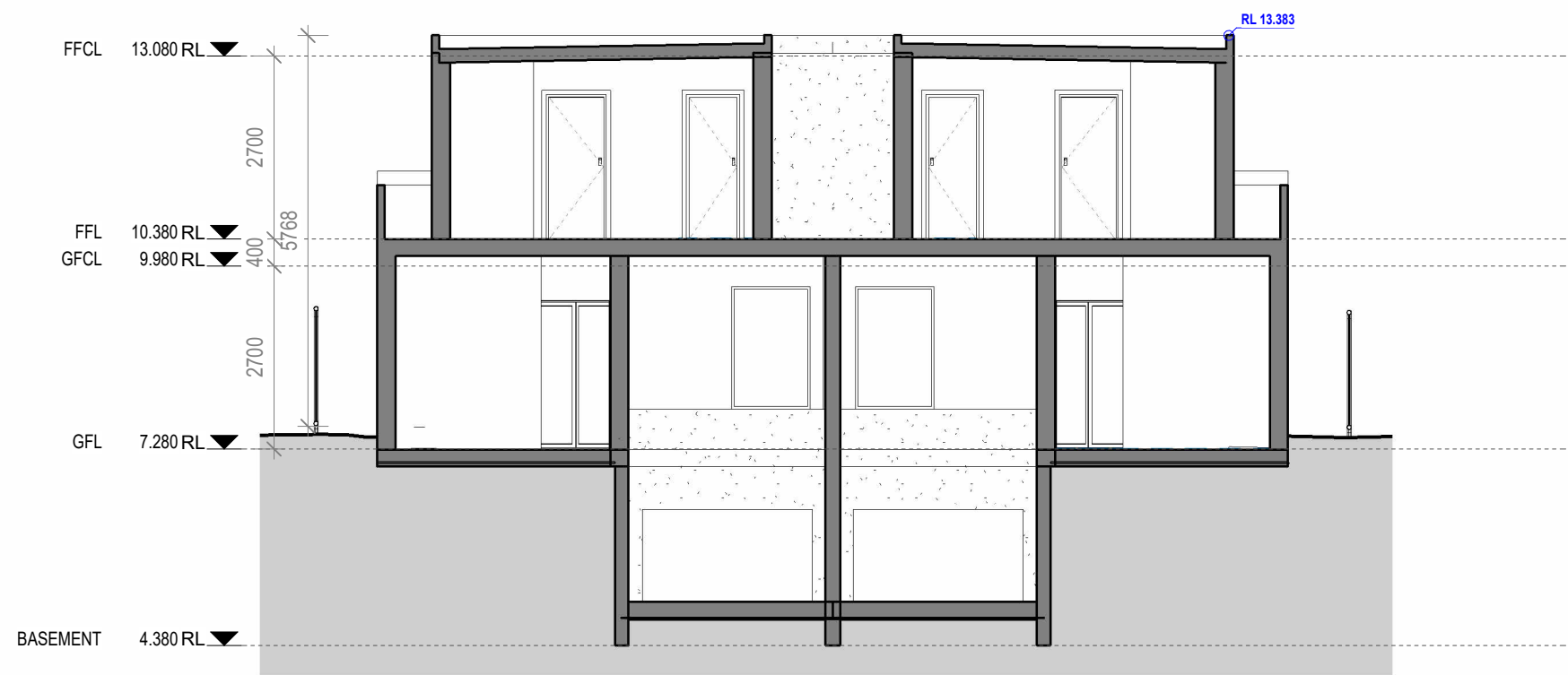


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			PROJECT No: 25-016		OWNER: -	DWNG No 03.1
			ISSUE DATE: JULY 2025			
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1 Section 2

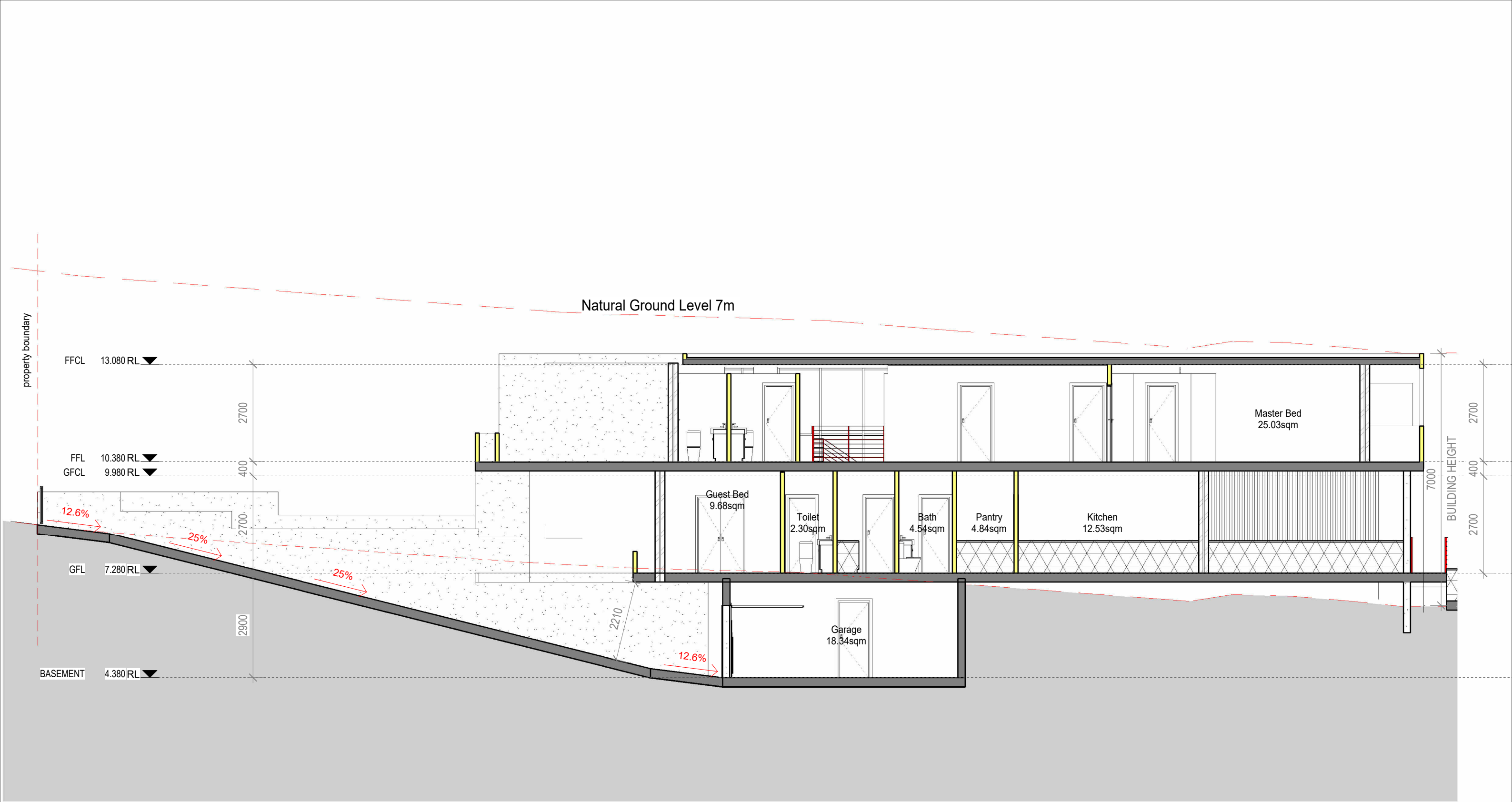
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2 Section 5

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			PROJECT No: 25-016		OWNER: -	DWNG No 03.2
			ISSUE DATE: JULY 2025			
			ISSUED For: DA			



1 Section 1
1 : 100

AMENDMENTS	DATE		DESIGNED: SK	epic design PO BOX 260 BEVERLY HILLS NSW 2209 T:0468339113 EMAIL:EPIC.DESIGN@OUTLOOK.COM	PROJECT NAME: HYDRAE ST	
			DRAWN: AM		PROJECT ADDRESS: 35 HYDRAE ST, REVESBY	
			PROJECT NO: 25-016		OWNER: -	
			ISSUE DATE: JULY 2025		DWNG No 03.3	
			ISSUED FOR: DA			

NOTES:
BOUNDARY DIMENSIONS SHOWN HEREON
REFER TO PLAN DIMENSIONS ONLY AND
HAVE NOT BEEN DETERMINED BY
FIELD SURVEY.
SERVICES SHOWN HEREON HAVE BEEN
LOCATED BY FIELD SURVEY.
PRIOR TO ANY DEMOLITION, CONSTRUCTION
OR EXCAVATION A THOROUGH
SEARCH OF ALL SERVICE AUTHORITIES
SHOULD BE MADE TO DETERMINE THE
POSSIBLE LOCATION OF FUTHER UNDER-
GROUND SERVICES.
CONTOURS SHOWN HEREON ARE INDICATIVE
ONLY AND ARE SUITABLE FOR MAPPING
AT A SCALE OF 1 : 100 OR SMALLER.
PREFERENCE SHOULD BE GIVEN TO SPOT
HEIGHTS AS SHOWN.

PIT RL
SL 9.04
LL 8.14

STREET

CONCRETE
DRIVEWAY

P/POLE

DIA. 0.30
HT. 3.0
SPD 3.0

BM ON
KERN
9.31
A.H.D.

HYDRAE

CONCRETE
DRIVEWAY

BALCONY

BALCONY

RENDERED
DUPLEX
NO ROOF &
33A
GUT. 13.29
RIDGE 16.22

OUTLINE
FIRST
FLOOR

PORCH

METAL
AWNING

410
DP 1145346

411
DP 1145346

40
SEC D
DP 1528

CLAD
COTTAGE
ROOF
35
FL 8.48
GUT. 11.16
RIDGE 13.26

39
SEC D
DP 1528

CLAD
COTTAGE
ROOF
37
GUT. 10.26
RIDGE 12.36

CLAD
OUTBUILDING
ROOF
GUT. 9.36
RIDGE 10.78

METAL
AWNING

GRASS
AREA

GRASS
AREA

GRASS
AREA

GRASS
AREA

CLAD
SHED

METAL
AWNING

METAL
SHED

1

14.1 - Shadow Diagram 22/June - 0800

1 : 200

AMENDMENTS

DATE	

DESIGNED: SK
DRAWN: AM
PROJECT NO: 25-016
ISSUE DATE: JULY 2025
ISSUED FOR: DA

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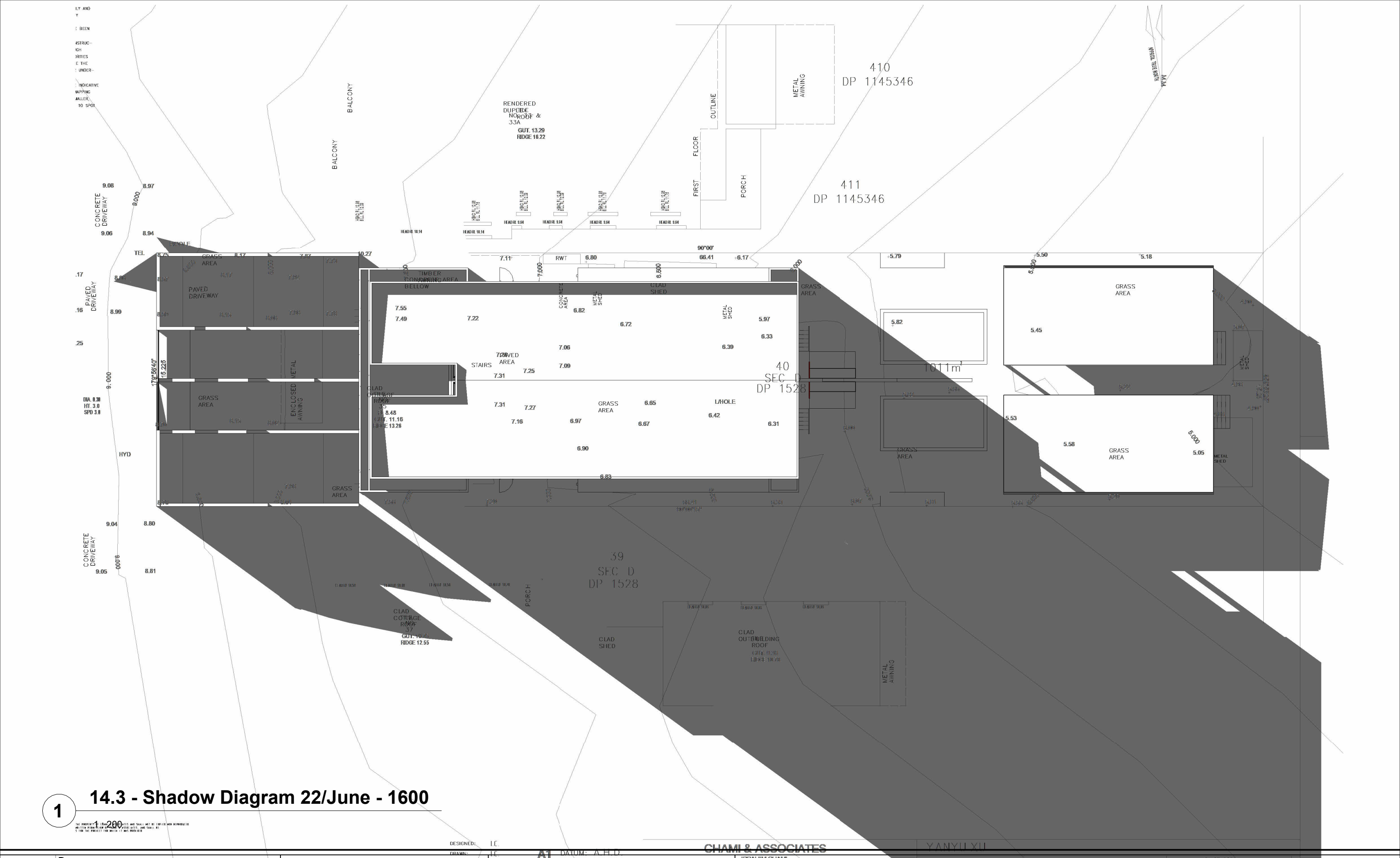
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EMAIL:EPIC.DESIGN@OUTLOOK.COM

PROJECT NAME: HYDRAE ST

PROJECT ADDRESS: 35 HYDRAE ST, REVESBY

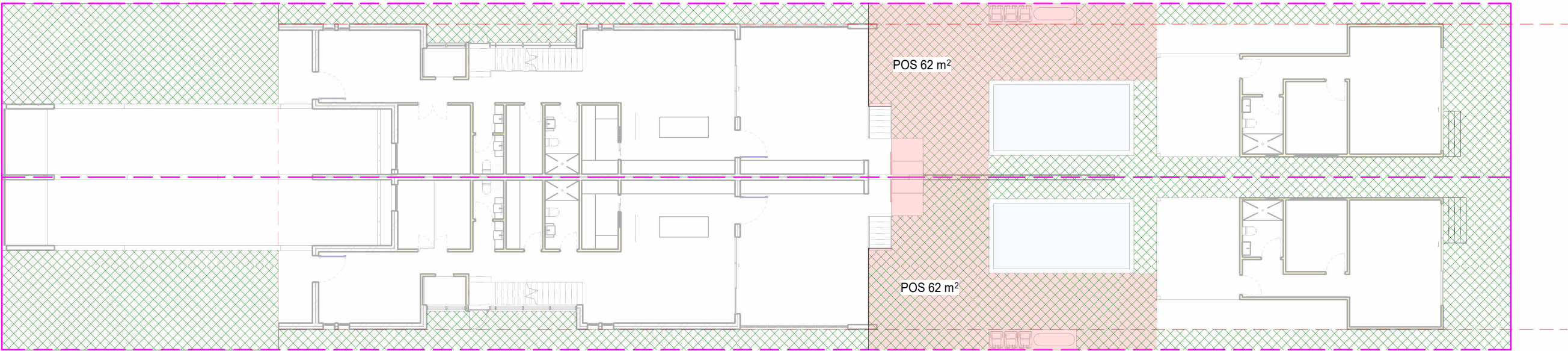
OWNER: -

DWNG No
04.0



1 14.3 - Shadow Diagram 22/June - 1600

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			DRAWN: AM				
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			ISSUED FOR: DA		PROJECT ADDRESS: 35 HYDRAE ST, REVESBY		
					OWNER: -		



1

Concept Landscape Plan

1 : 200

Site Area	1011 m ²
Total Grass Area	390 m ²
Grass Area in Front of the Building Line	108 m ²
Grass Area Behind the Building Line	382 m ²
POS	124 m ²

Landscaping Notes:

Turfed Area

* All newly turfed areas to be selected weed free pennistum clandestium.

Turf shall be laid neatly butted with staggered joints flush with adjacent surfaces and have even running falls to all drainage points.

Garden Areas

* All garden areas are to be filled with 250mm depth of weed free top quality garden soil which has been treated with spent mushroom compost.

* Provide a minimum 75mm depth of pine bark flakes or selected leaf mulch to all garden beds.

* All new tress shall be double stalked using underwood stakes (1800mm x 25 x 25mm) and double tied with hessain webbing.

General Notes

* Prior to the commencement of any site works, all existing trees to be retained shall be enclosed with protective fencing to prevent them being damaged during the construction period.

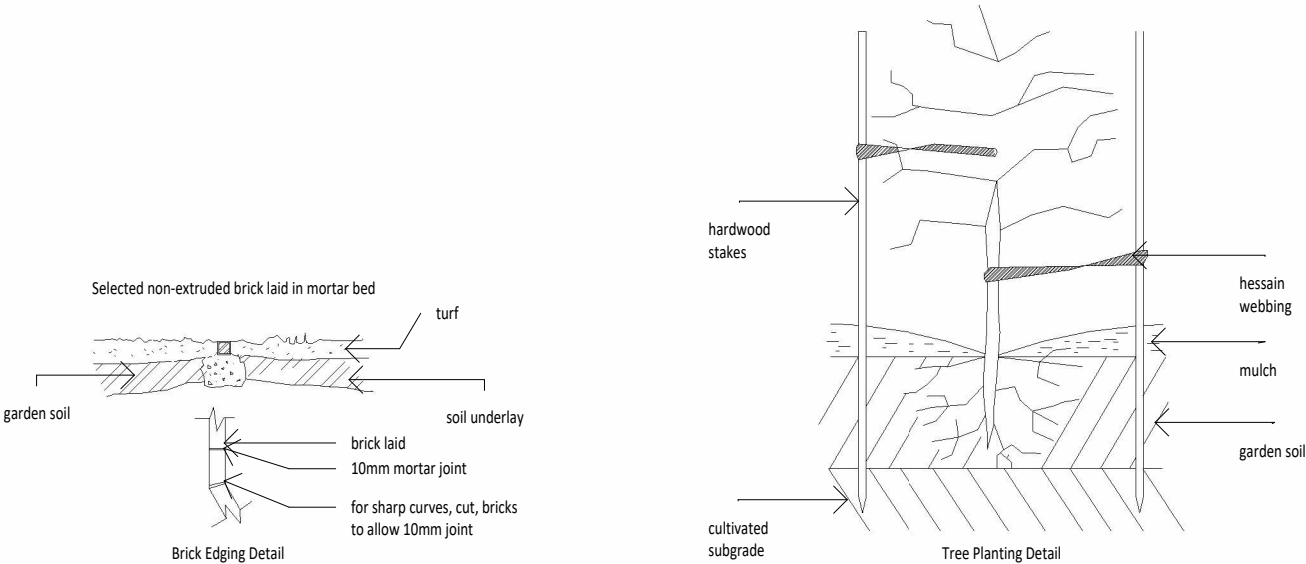
* All finished levels are to be verified by the builder on site.

* All landscaping work to be in strict accordance to councils/privated certifiers code and guidlines.

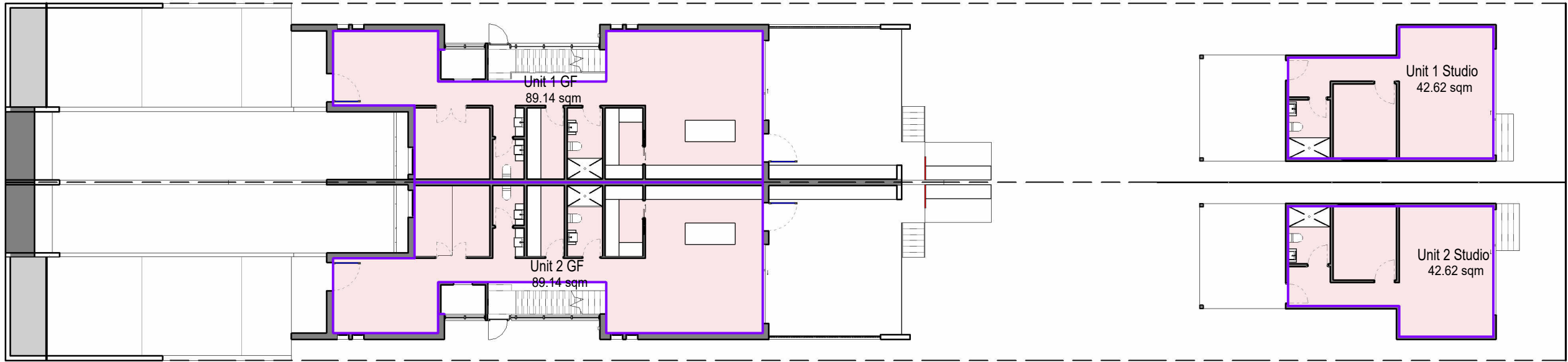
* This drawing is to be read in conjunction with all submitted architectural.

* Hydraulics and engineering drawings where applicable.

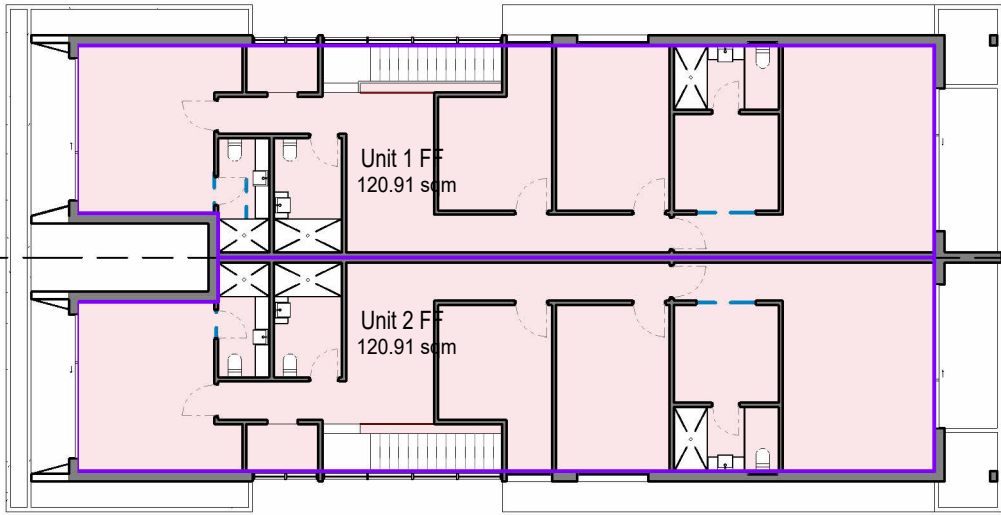
Botanic Name	Common Name	Quantity	Staking	Size
Trees				
EF - Eucalyptus Fibrosa	Broad Lead Ironbark	1	Yes	75L
P - Pyrus Calleryana	Callery Pear	1	Yes	35L
Shrubs				
Gs - Grevillea Sericea	Pink Spider Flower	15	-	5L
Cp - Crinum Pedunculatum	Swamp Lilly	5	-	5L



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					OWNER: -	
					DWNG No 05.0	



1 GFL
1 : 200



2 FFL
1 : 200



Fair-Faced Concrete White Brick Timber Battens

Window Schedule		
Mark	Height	Width
L1 W1	800	600
L1 W2	1000	2000
L2 W1	800	600
L2 W2	1000	2500
U1 W1	2100	500
U1 W2	2100	500
U1 W4	2100	500
U1 W5	2100	500
U1 W6	1800	1150
U1 W7	1400	1200
U1 W8	1400	1875
U1 W9	900	800
U2 W1	2100	500
U2 W2	2100	500
U2 W4	2100	500
U2 W5	2100	500
U2 W6	1800	1150
U2 W7	1400	1200
U2 W8	1400	1875
U2 W9	900	800
U1W3	5700	6595
U2W3	5700	6595

Area Schedule	
Name	Area
Site Area	1011.00 m ²
Maximum GFA	505.50 m ²
Total GFA	505.34 m ²
Unit 1 FF	120.91 m ²
Unit 2 FF	120.91 m ²
Unit 1 GF	89.14 m ²
Unit 2 GF	89.14 m ²
Unit 1 Studio	42.62 m ²
Unit 2 Studio	42.62 m ²

Door Schedule		
Mark	Height	Width
L1 SD1	2200	4500
L2 SD1	2200	4500
U1 SD01	2200	3400
U1 SD02	2200	3800
U1 SD03	2200	3800
U2 SD01	2200	3400
U2 SD02	2200	3800
U2 SD03	2200	3800

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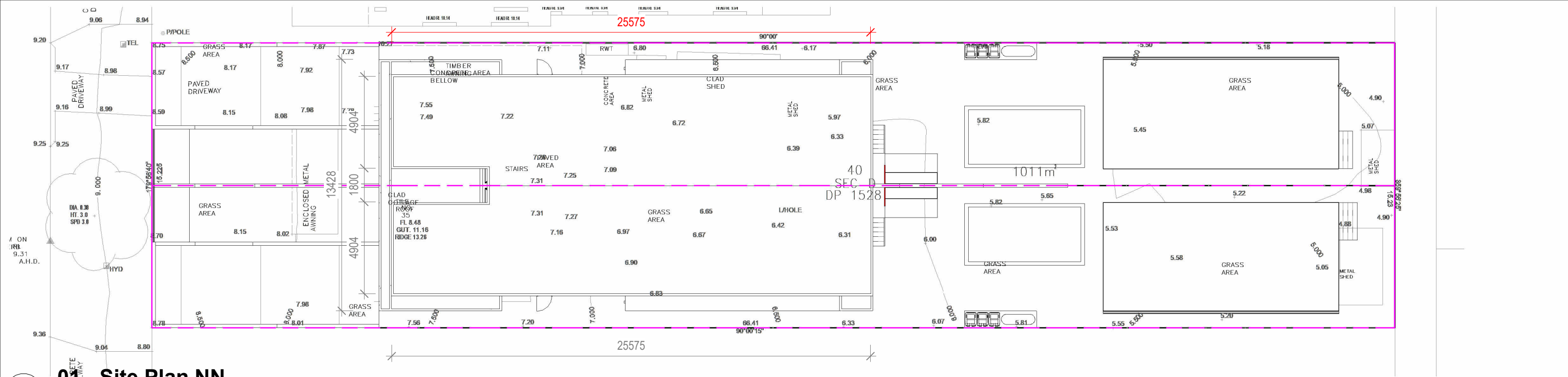
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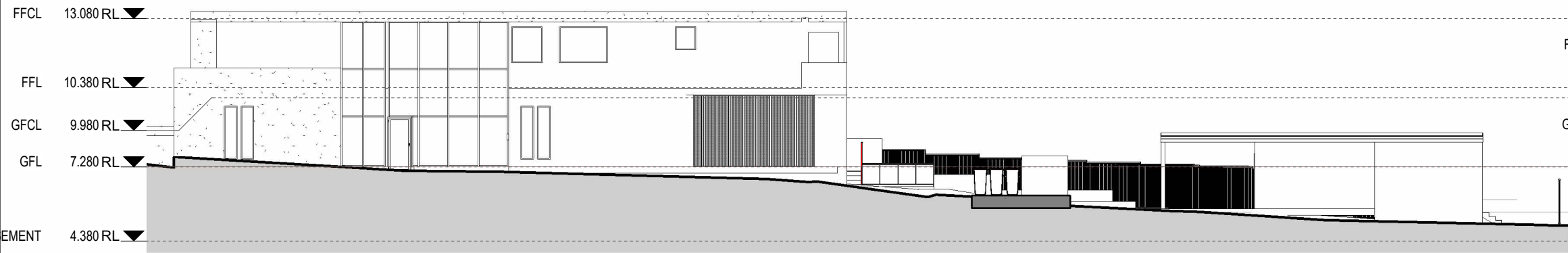
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DWNG No
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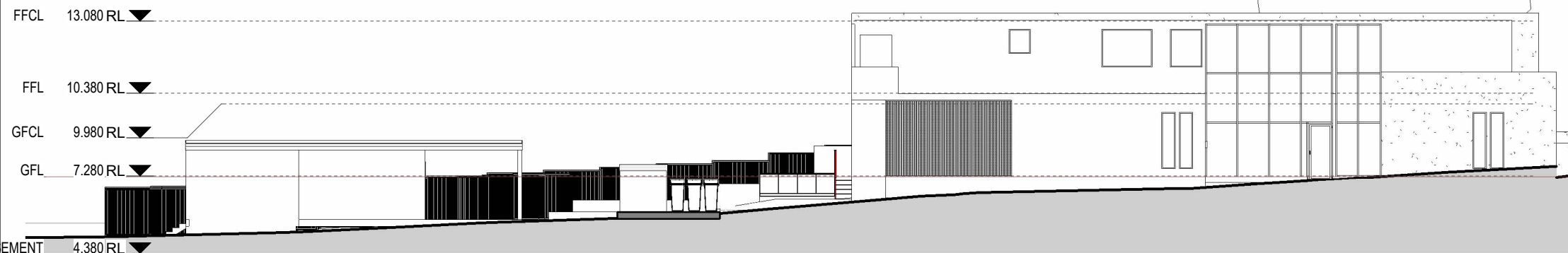
01 - Site Plan NN

1 : 200



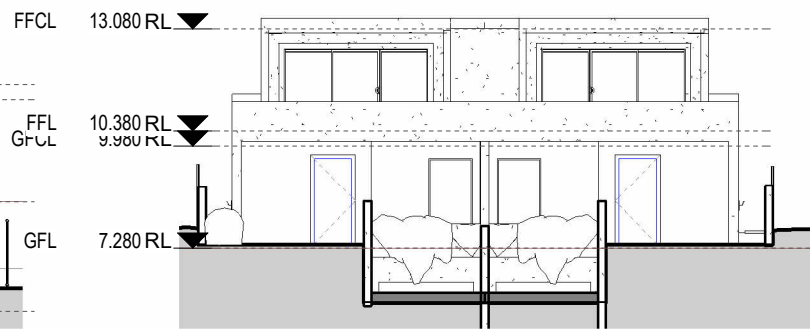
South Elevation NN

1 : 200



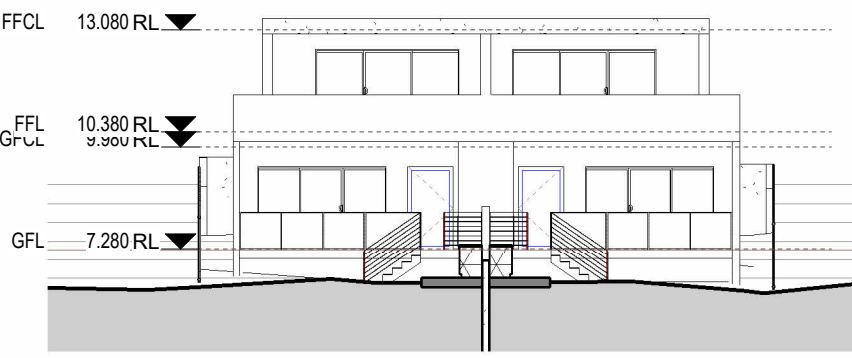
North Elevation NN

1 : 200



West Elevation NN

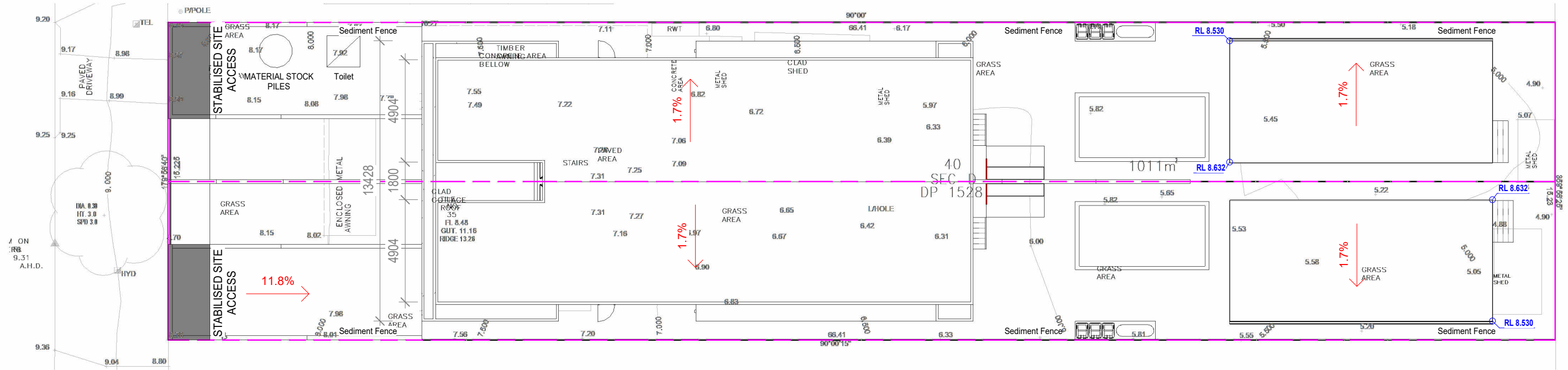
1 : 200



East Elevation NN

1 : 200

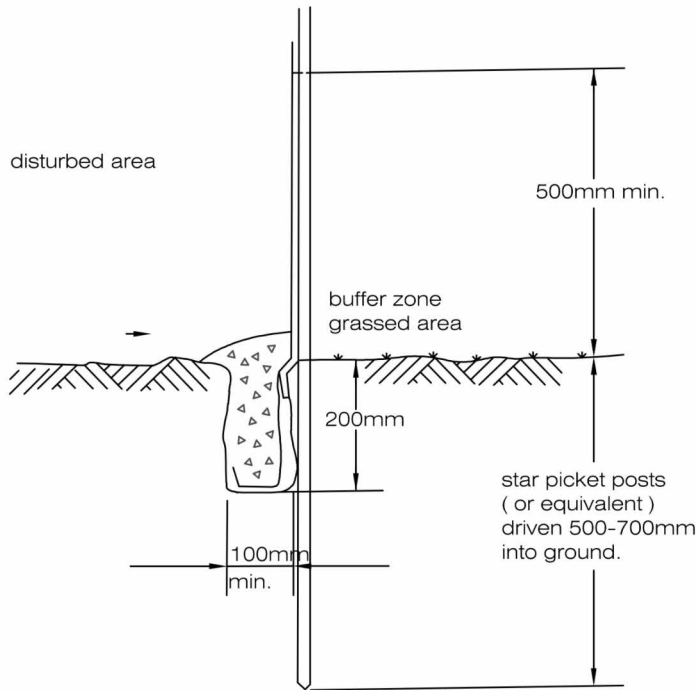
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					DWNG No NN	



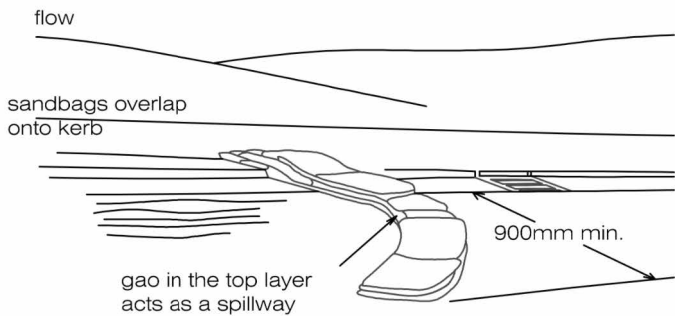
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01 - Sediment Control Plan

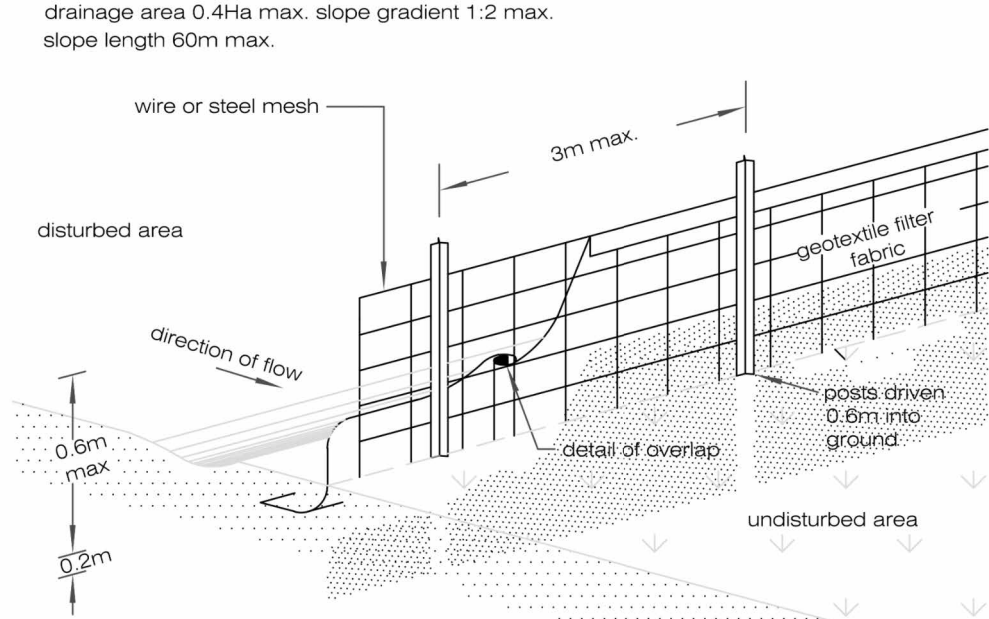
1 : 200



geofabric 'silt' fence



sediment trap in dish drain and kerbs



geofabric 'silt' fence

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SD